



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Members of the Architectural Review Board

FROM: Wendy Lao, Associate Planner

MEETING DATE: December 18, 2017

SUBJECT: Architectural Permit (AP) 17-1060 to allow the expansion of 53 square feet to an existing 57 square feet second-story deck, and to allow a new second-story deck of 69 square feet, and to allow window and door changes on the north and west elevations.

ADDRESS: 201 3rd Street (APN 006-241-013)

**ZONING/
LAND USE:** R-2/High Density to 29.0 DU/ac

APPLICANT: Aaron Tollefson, applicant, on behalf of Constance Bowie, owner

CEQA: Categorical Exemption, Section 15301, Class 1, Existing Facilities

RECOMMENDATION

Receive report, hold public hearing, and approve AP #17-1060.

BACKGROUND

On November 15, 2017, Aaron Tollefson of AST Design Group applied for an Architectural Permit #17-1060 for an existing 3,049 gross square feet residence located at 201 3rd Street in Pacific Grove. The project seeks to expand a 57 square feet second-story deck by 53 square feet, totaling 110 square feet, and to also add a new second-story deck of 69 square feet. The project includes window and door changes on the north and west elevations.

DISCUSSION

The subject residence is a two-story structure built in 1980 and is not listed on the Historic Resources Inventory.

Zoning Code

The proposed development project is in conformance with all requirements of the R-2 zoning district.

The project proposes to maintain the existing gross floor area of 3,049 square feet, which is within the allowable gross floor area of 3,099 square feet. The project proposes to maintain the existing site coverage of 36.72%, which is within the allowable maximum site coverage of 60%.

pursuant to P.G.M.C. § 23.20.051. The building height would remain the same at approximately 18 feet and 9 inches, which is within the allowable height limit of 30 feet.

Architecture Review Guidelines:

Staff has reviewed the proposed project. The project proposal appears to adhere to multiple Architectural Review Guidelines, including but not limited to:

Guideline #6: Try to place new windows where they will respect privacy between properties.

New windows are proposed on the public street-facing side of the property, which does not negatively impact the privacy level of the neighborhood.

Guideline #7: Second floor balconies and decks should be designed and located to minimize the loss of privacy for neighboring properties.

The proposed balconies are proposed on the public street-facing side of the property, which does not negatively impact the privacy level of the neighborhood.

Guideline #9: Attempt to preserve some portion of neighbors' views by carefully positioning or limiting the width, depth, or height of proposed building elements.

The proposed balconies would be located on the public street-facing side of the property. The property is a corner lot, so there are no other structures to the immediate west of the property whose views would be impacted. The structure to the east appears to have a smaller front setback, so it does not appear that the extension of the deck by 3 feet would have a negative impact.

Materials & Details:

The proposed balcony would use stainless steel cable railings. The new window and door systems would be Milgard double-glazed aluminum in an anodized bronze color.

Environmental Determination:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Guidelines 15301 – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the environment, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. CEQA Documentation
- E. Project Plans

RESPECTFULLY SUBMITTED:

Wendy Lao

Wendy Lao, Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Item 7b

Application # AP17-1060

Date: 11/15/17

Total Fees: \$3581.30

APPLICANT/OWNER:	Project Address: <u>201 3rd street, Pacific Grove</u>	APN: <u>006-241-013</u>	
	Project Description: <u>New & rebuilt deck of 110 sq. ft.</u> <u>New 69 sq. ft. decks</u> <u>New Exterior doors & windows on North & West Elevations</u>		
	Tree Work? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	Applicant Name: <u>Aaron Tolley</u>	Owner Name: <u>Mrs. Constance Bowie</u>	
Applicant Phone: <u>(831) 578-3450</u>	Owner Phone: <u>-</u>		
Applicant Email: <u>aaron.tolley@sbcglobal.net</u>	Owner Email: <u>-</u>		
Applicant Mailing Address: <u>957 Angelus Way</u> <u>Del Rey Oaks, CA 93940</u>	Owner Mailing Address: <u>201 3rd street</u> <u>Pacific Grove, CA 93950</u>		

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> EIR: Environmental Impact
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> ADC: Arch Design Change	<input type="checkbox"/> ADU: Acc. Dwelling Unit	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> ASP: Admin Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> Other: _____

PLANNING STAFF USE ONLY:

CEQA Determination:	Review Authority:	Active Permits:	Overlay Zones:
<input checked="" type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> Butterfly Zone
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> Coastal Zone
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> Active Code Violation	<input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS)
	<input checked="" type="checkbox"/> ARB	Permit #: _____	<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: A Block: 218 Tract: PG

ZC: R-2 GP: HDR 29 DWIAC Lot Size: 6,530 sq

Historic Resources Inventory **RECEIVED** Archaeologically Sensitive Area

Staff Use Only:

Received by: A. Aziz NOV 15 2017 **PAID** 3,581.30 11-15-17

Assigned to: W. Lao CITY OF PACIFIC GROVE COMMUNITY DEV DEPT

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature: [Signature]

Owner Signature (Required): [Signature]

Date: 11-14-17

Date: 11-14-17



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT NO. 17-1060

FOR A PROPERTY LOCATED AT 201 3rd STREET TO ALLOW THE EXPANSION OF 53 SQUARE FEET TO AN EXISTING 57 SQUARE FEET SECOND-STORY DECK, AND TO ALLOW A NEW SECOND-STORY DECK OF 69 SQUARE FEET, AND TO ALLOW WINDOW CHANGES ON THE NORTH AND WEST ELEVATIONS.

FACTS

1. The subject site is located at 201 3rd Street, Pacific Grove, 93950 (APN 006-241-013)
2. The subject site has a designation of High Density to 29.0 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-2 zoning district.
4. The subject site is a corner lot of 6,092 square feet.
5. The subject site is developed with a two-story single family dwelling of 3,049 gross square feet.
6. The subject property was built in 1980 and is not listed on the City's Historic Resources Inventory.
7. The subject site is located in the Area of Special Biological Significance Watershed.
8. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301, Class 1, Existing Facilities.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-2 zoning district including setbacks and height requirements, and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 6, 7, and 9, and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) No. 17-1060 to allow:

A property located at 201 3rd street to allow the expansion of 53 square feet to an existing 57 square feet second-story deck, and to allow a new second-story deck of 69 square feet, and to allow window changes on the north and west elevations.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.

3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Bowie Residence” dated November 9, 2017, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees.
8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
9. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.
10. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 17-1060 to allow the expansion of 53 square feet to an existing 57 square feet second-story deck, and to allow a new second-story deck of 69 square feet, and to allow window changes on the north and west elevations.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 18th day of December, 2018, by the following vote:

AYES: **XXX**

NOES: **XXX**

ABSENT: **XXX**

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Constance Bowie, property owner

Date



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd

NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 201 3rd St, Pacific Grove, CA 93950

Project Description: AP 171060

To allow the expansion of 53 square feet to an existing 57 square feet second-story deck, and Description: to allow a new second-story deck of 69 square feet, and to allow window and door changes on the north and west elevations.

APN: 006241013000

ZC: R-2

Lot Size: 6,092 square feet

Applicant Name:	Aaron Tollefson	Phone #:	831-578-3450
Mailing Address:	957 Angelus Way, Del Rey Oaks, CA		
Email Address:	aaronolley@sbcglobal.net		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption**
Type and Section Number: 15301, Class 1, Existing Facilities
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Guidelines 15301 – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the environment, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Contact: Wendy Lao, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature:

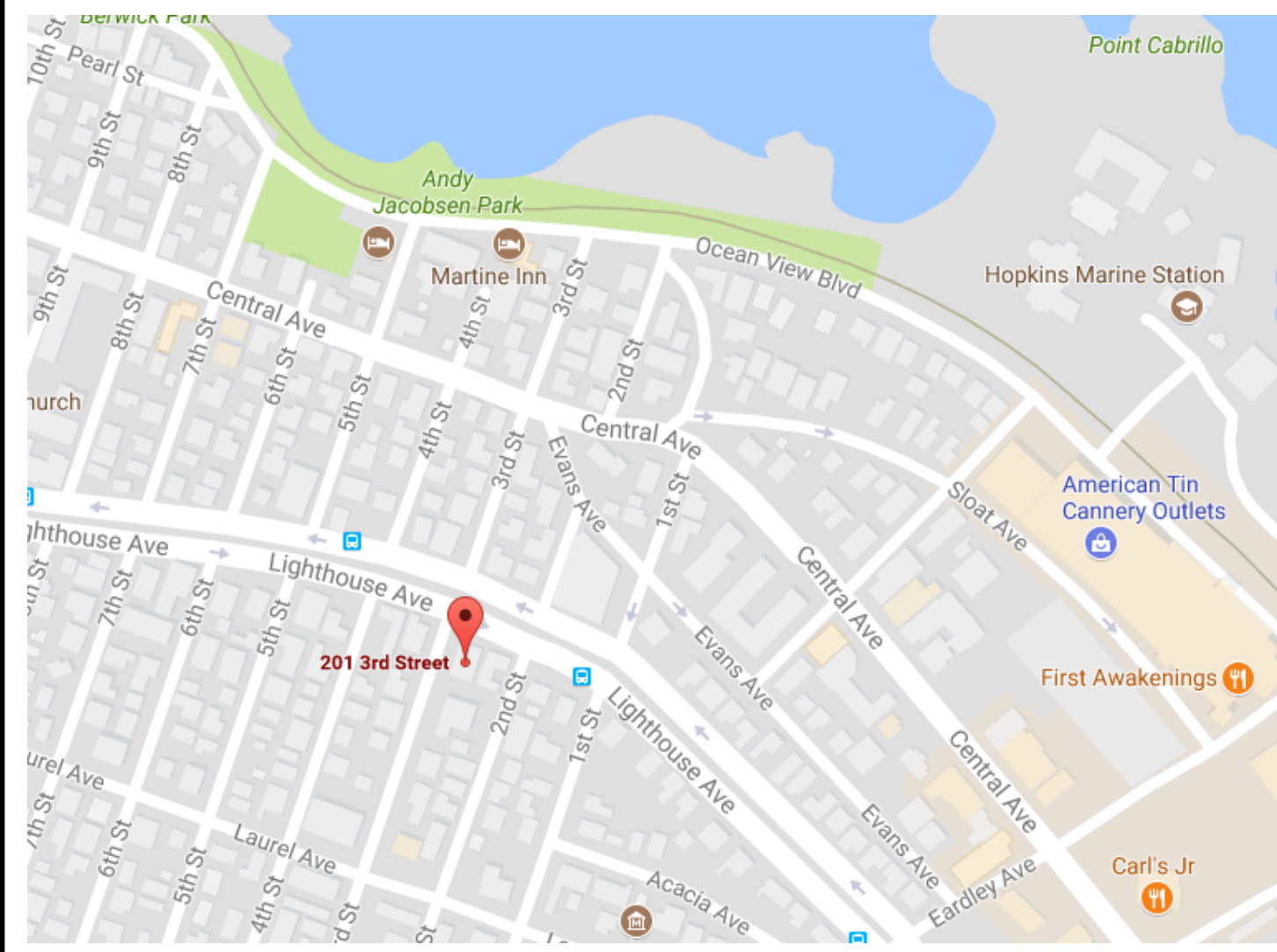
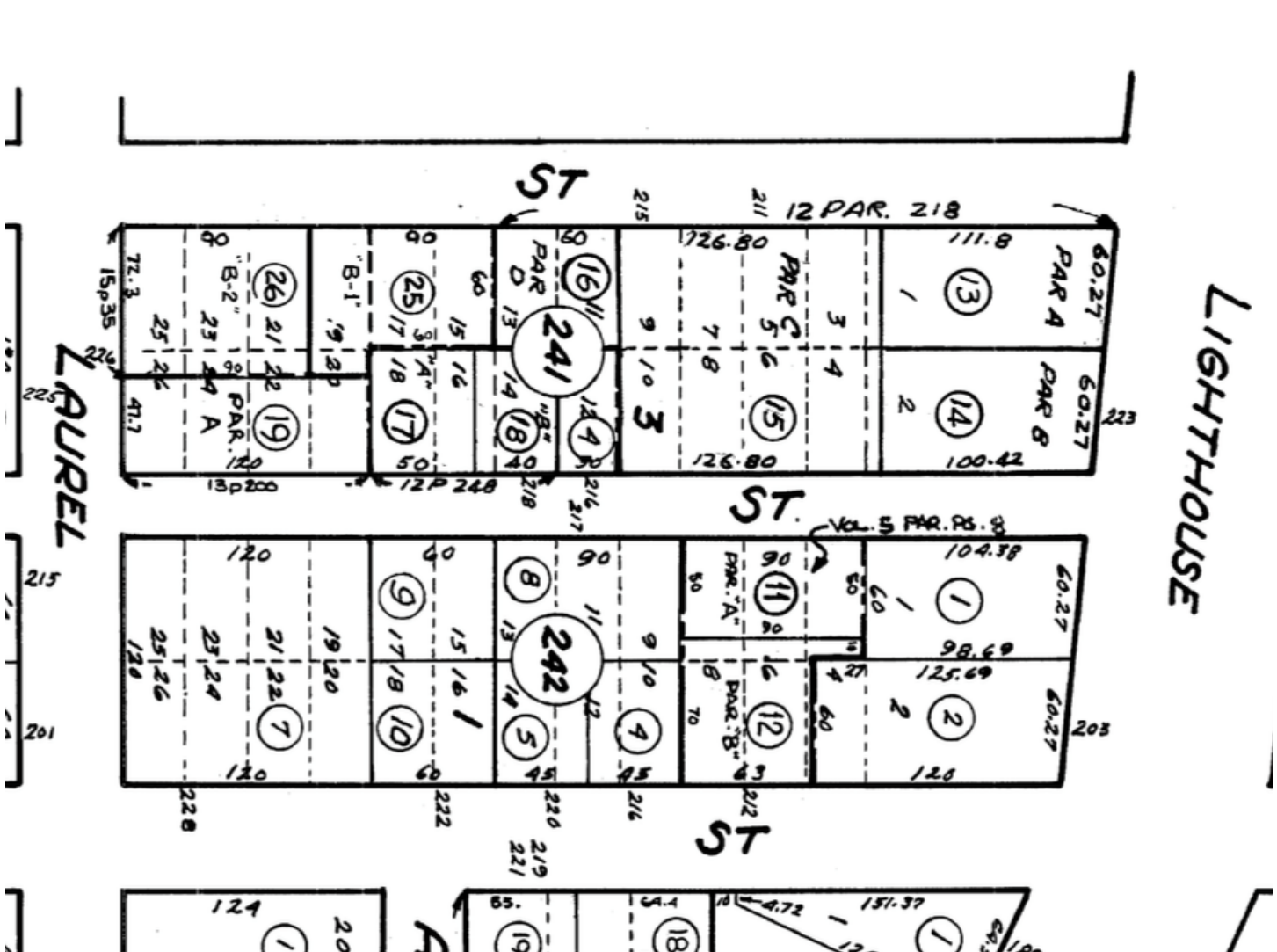
Date:

12/11/17

NEW DECKS & WINDOWS FOR MR. AND MRS. BOWIE RESIDENCE

201 3RD STREET
PACIFIC GROVE, CALIFORNIA 93950

AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

VICINITY MAP	ASSESSORS MAP	SHEET INDEX	PROJECT DATA
		<p>A1.0 COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP A1.1 SITE PLAN, NOTES A1.2 EXISTING FLOOR PLANS A1.3 NEW FLOOR PLANS, EXTERIOR ELEVATIONS</p>	<p>PROJECT ADDRESS: 201 3RD STREET PACIFIC GROVE, CALIFORNIA 93950</p> <p>PARCEL NUMBER: 006-241-013</p> <p>PACIFIC GROVE ZONING: R-2</p> <p>SITE AREA: 6,092 S.F.</p> <p>CONSTRUCTION TYPE: V-B</p> <p>OCCUPANCY TYPE: R-3</p> <p>STORIES: TWO STORY</p> <p>SEWER SYSTEM: EXISTING SEWER SYSTEM</p> <p>SQUARE FOOTAGE:</p> <p>(E) RESIDENCE: 2,571 S.F. (E) ATTACHED GARAGE: 478 S.F.</p> <p>TOTAL: 3,049 S.F.</p> <p>SITE COVERAGE:</p> <p>(E) RESIDENCE: 1,580 S.F. (E) ATTACHED GARAGE: 478 S.F. (N) DECKS: 179 S.F.</p> <p>TOTAL SITE COVERAGE: 2,237 S.F. (36.72% SITE COVERAGE)</p> <p>TREES TO BE REMOVED: NONE TO BE REMOVED</p> <p>FIRE SPRINKLER REQUIREMENT: NOT APPLICABLE</p> <p>MAXIMUM HEIGHT ALLOWED: NOT APPLICABLE</p>
<p>GENERAL NOTES</p>	<p>FIRE DEPARTMENT NOTES</p>	<p>CONDITIONS OF APPROVAL (AP) 00-000</p> <ol style="list-style-type: none"> PERMIT EXPIRATION: THIS PERMIT SHALL EXPIRE AND BE NULL AND VOID IF A BUILDING PERMIT HAS NOT BEEN APPLIED FOR WITHIN ONE (1) YEAR FROM AND AFTER THE DATE OF APPROVAL. APPLICATION FOR EXTENSION OF THIS APPROVAL MUST BE MADE PRIOR TO THE EXPIRATION DATE. CONSTRUCTION COMPLIANCE: ALL CONSTRUCTION MUST OCCUR IN STRICT COMPLIANCE WITH THE PROPOSAL AS SET FORTH IN THE APPLICATION, SUBJECT TO ANY SPECIAL CONDITIONS OF APPROVAL HEREIN. ANY DEVIATION FROM APPROVALS MUST BE REVIEWED AND APPROVED BY STAFF, AND MAY REQUIRE ARCHITECTURAL REVIEW BOARD APPROVAL. TERMS AND CONDITIONS: THESE TERMS AND CONDITIONS SHALL RUN WITH THE LAND, AND IT IS THE INTENTION OF THE CEED DIRECTOR AND THE PERMITTEE TO BIND ALL FUTURE OWNERS AND POSSESSORS OF THE SUBJECT PROPERTY TO THE TERMS AND CONDITIONS, UNLESS AMENDED. AMENDMENTS TO THIS PERMIT MAY BE ACHIEVED ONLY IF AN APPLICATION IS MADE AND APPROVED, PURSUANT TO THE ZONING CODE. PUBLIC WORKS, FIRE AND BUILDING: REVIEW AND APPROVAL BY THE PUBLIC WORKS, FIRE AND BUILDING DEPARTMENTS ARE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. WORK TAKING PLACE IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT PRIOR TO ISSUANCE OF THE BUILDING PERMIT. TREE PROTECTION STANDARDS DURING CONSTRUCTION: PURSUANT TO MUNICIPAL COD CHAPTERS 12.20 AND 12.30, AND THE URBAN FORESTRY STANDARDS, ALL TREES THAT ARE OTHERWISE PROTECTED AND WILL BE IMPACTED AS A RESULT OF DEVELOPMENT, BOTH PROPOSED FOR PRUNING OR REMOVAL AND WHERE THE DEVELOPMENT WILL IMPACT THE CRITICAL ROOT ZONE OF THE TREE ARE PROTECTED. PRIOR TO ISSUANCE OF THE BUILDING PERMIT, THE PROJECT ARBORIST SHALL REVIEW GRADING, DRAINAGE, UTILITY, BUILDING AND LANDSCAPE PLANS TO DETERMINE IMPACTS TO INDIVIDUAL TREES, TO DETERMINE REQUIRED MINIMUM TREE PROTECTION STANDARDS DURING CONSTRUCTION. STREETS TREES: ONE TREE MUST BE PLANTED PER 30 FEET OF FRONTAGE, WITH A MINIMUM OF TWO TREES. WATER EFFICIENCY REQUIREMENTS: ALL MONTEREY PENINSULA WATER MANAGEMENT DISTRICT WATER EFFICIENCY REQUIREMENTS, INCLUDING THE INSTALLATION OF HIGH EFFICIENCY TOILETS, SHALL BE IMPLEMENTED. STORMWATER TREATMENT MEASURE: THE STORMWATER TREATMENT MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY AND CITY OF PACIFIC GROVE STAFF SHALL BE ALLOWED ACCESS TO INSPECT ALL STORMWATER TREATMENT MEASURES ON AN ANNUAL BASIS. LIGHTING: ALL EXTERIOR LIGHTING MUST CONFORM TO ARCHITECTURAL REVIEW GUIDELINES NOS. 10,11,12 ARCHEOLOGY: IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE CONCURRENCE OF THE CITY OF PACIFIC GROVE STAFF, AND IMPLEMENTED. BUILDING PLANS: ALL CONDITIONS OF APPROVAL FOR THE PLANNING PERMIT(S) SHALL BE PRINTED ON A FULL SIZE SHEET AND INCLUDED WITH THE CONSTRUCTION PLAN SET SUBMITTED TO THE BUILDING DEPARTMENT. 	<p>PROJECT DATA</p>
<p>TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2013 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.</p> <p>SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.</p> <p>CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.</p> <p>DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.</p> <p>GLAZING: ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.</p> <p>MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.</p> <p>GFI PROTECTION: ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION. ALL KITCHEN RECEPTACLES TO BE GFCI.</p> <p>SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 RESIDENTIAL CODE FOR SMOKE DETECTORS).</p> <p>NAILING TO BE IN COMPLIANCE WITH 2013 CALIFORNIA RESIDENTIAL CODE TABLE.</p> <p>ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (D), ORD. 3522).</p> <p>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</p> <p>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.</p> <p>ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.</p> <p>THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.</p> <p>CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).</p>	<p>FIRE007 - DRIVEWAYS DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT WHERE THE GRADE EXCEEDS 8 PERCENT. A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE OR 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.</p> <p>FIRE011 - ADDRESSES FOR BUILDINGS ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.</p> <p>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD) MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.</p> <p>FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (HAZARDOUS CONDITIONS) THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.</p> <p>FIRE029 - ROOF CONSTRUCTION ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.</p>	<p>SCOPE OF WORK</p> <ol style="list-style-type: none"> NEW AND REBUILT 110 S.F DECK. NEW 69 S.F DECK NEW EXTERIOR DOORS AND WINDOWS ON NORTH EXTERIOR ELEVATION. 	<p>APPLICABLE CODES</p> <p>THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:</p> <p>2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 TITLE 24 ENERGY COMPLIANCE</p>

AARON S. TOLLEFSON, DESIGNER

ADDITION & INTERIOR REMODEL FOR:

BOWIE RESIDENCE

201 3RD STREET
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-241-013

DRAWINGS:
PROJECT DATA
SHEET INDEX
SCOPE OF WORK
CODES
ASSESSORS MAP
VICINITY MAP
NOTES

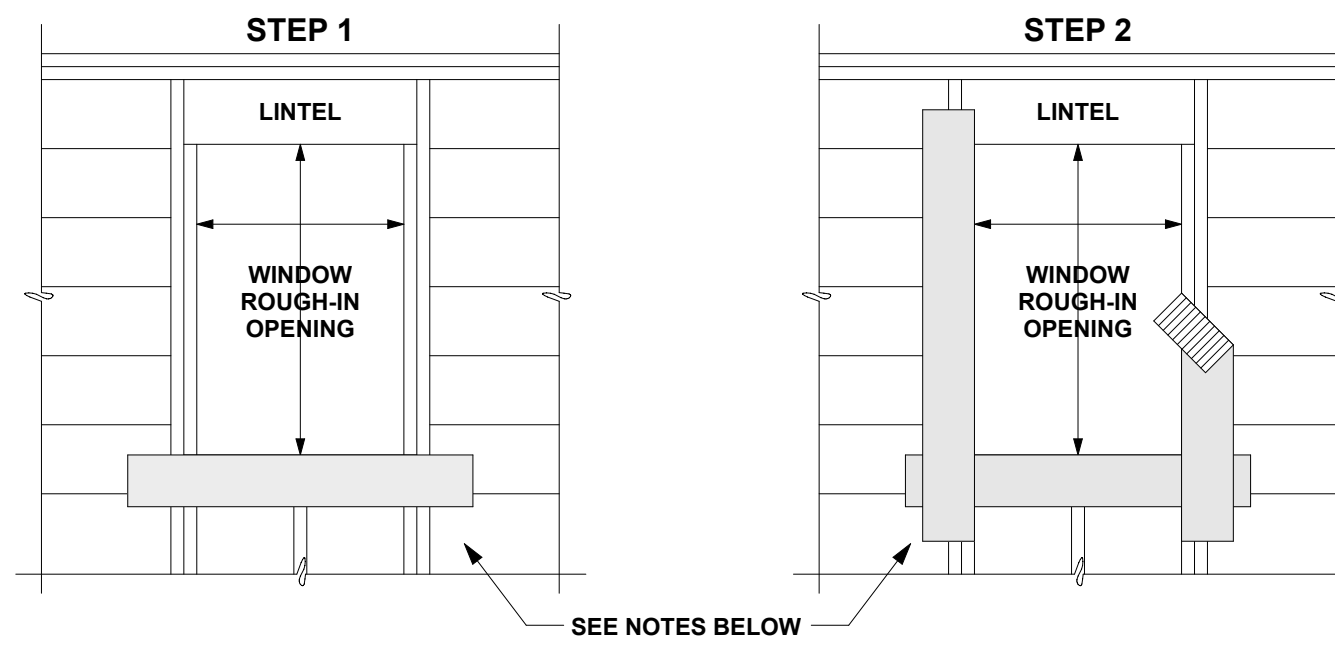
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DRAWING DATE: Nov. 9, 2017
REVISION DATES:

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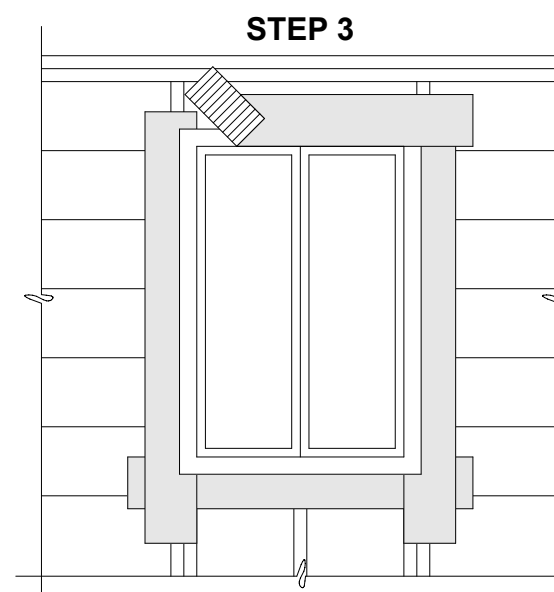
GRADING AND EROSION CONTROL NOTES:

1. LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION SHALL BE LIMITED TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS AND CONSTRUCTION.
2. WINTER OPERATION NOTES: OCTOBER 15 THROUGH APRIL 15
 WHEN WINTER OPERATIONS TAKE PLACE, THE FOLLOWING MEASURES MUST BE TAKEN TO PREVENT ACCELERATED EROSION:
 - A. VEGETATION REMOVAL BETWEEN OCTOBER 15 AND APRIL 15 SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. MEASURES SHALL BE IN PLACE.
 - B. BETWEEN OCTOBER 15 AND APRIL 15 DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIP AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - D. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAYS OF WORK.
 - E. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
3. GROUND SURFACES DISTURBED DURING CONSTRUCTION SHALL BE WATERED DOWN TO CONTROL DUST.
4. NO EARTH OR ORGANIC MATERIAL SHALL BE DEPOSITED OR PLACED WHERE IT MAY DIRECTLY BE CARRIED INTO A STREAM, MARSH, SLOUGH, LAGOON OR BODY OF WATER.
5. MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE UTILIZED TO ESTABLISH NEW VEGETATION, IF NECESSARY, ON SLOPES LESS THAN 20%, TOPSOIL SHALL BE STOCKPILED AND REAPPLIED.
6. ALL GRADED AREAS OF THE ROAD RIGHT OF WAY SHALL BE PLANTED AND MAINTAINED AS REQUIRED BY THE COUNTY SURVEYOR TO CONTROL EROSION. ALL CUT AND FILL SLOPES SHALL BE STABILIZED.
7. CUT SLOPES SHALL NOT EXCEED 2:1.
8. UTILITY SERVICES ARE TO BE LOCATED WITHIN THE AREA OF ROUGH GRADING FOR DRIVEWAYS TO ELIMINATE TRENCHING THROUGH CUT SLOPES WHERE FEASIBLE.
9. BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINES SHALL HAVE COMPACTION TESTS TAKEN IN THE NATIVE (CUT) AREA AS WELL AS TESTS FOR THE FILL AREA. TESTS SHALL MEET 90% OF THE MAXIMUM DENSITY PER ASTM STANDARD D1557.
10. HIGH POINTS OF BUILDING PAD DRAINAGE SWALES TO BE 0.3 FEET MINIMUM BELOW FINISH PAD ELEVATION.
11. ALL DRAINAGE SHALL MAINTAIN A MINIMUM 1% SLOPE TO DISPOSAL POINTS.
12. ALL DOWNSPOUTS TO EMPTY INTO DRAIN LINES UNDERGROUND AND TO DISSPERTION PITS.
13. ALL GRADING SHALL CONFORM WITH THE MONTEREY COUNTY GRADING ORDINANCE #2535 AND EROSION CONTROL ORDINANCE #2806.
14. ONSITE GRADING AND EARTHWORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF THE SOILS ENGINEER AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT BY SOILS SURVEY.
15. A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY PRIOR TO ANY REQUEST FOR FOOTING INSPECTION OR FINAL GRADING INSPECTION.

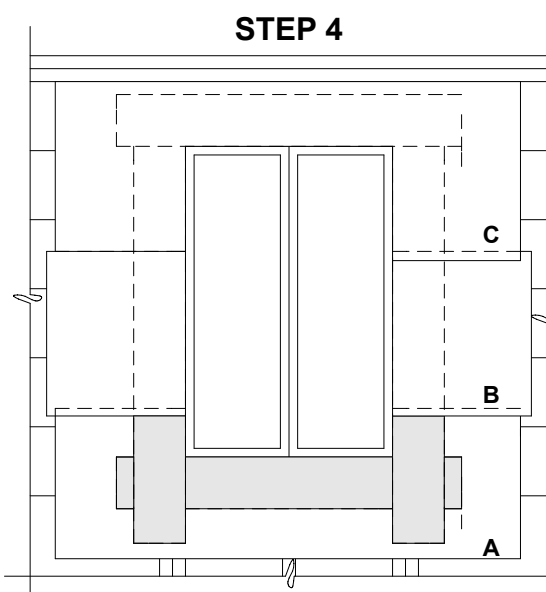


ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL. EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOISTOP OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.

ATTACH JAMB STRIPS WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING, START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.



INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.



COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.

NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF THE OPENING.

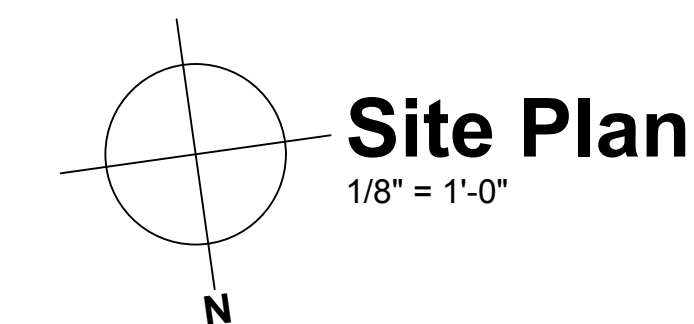
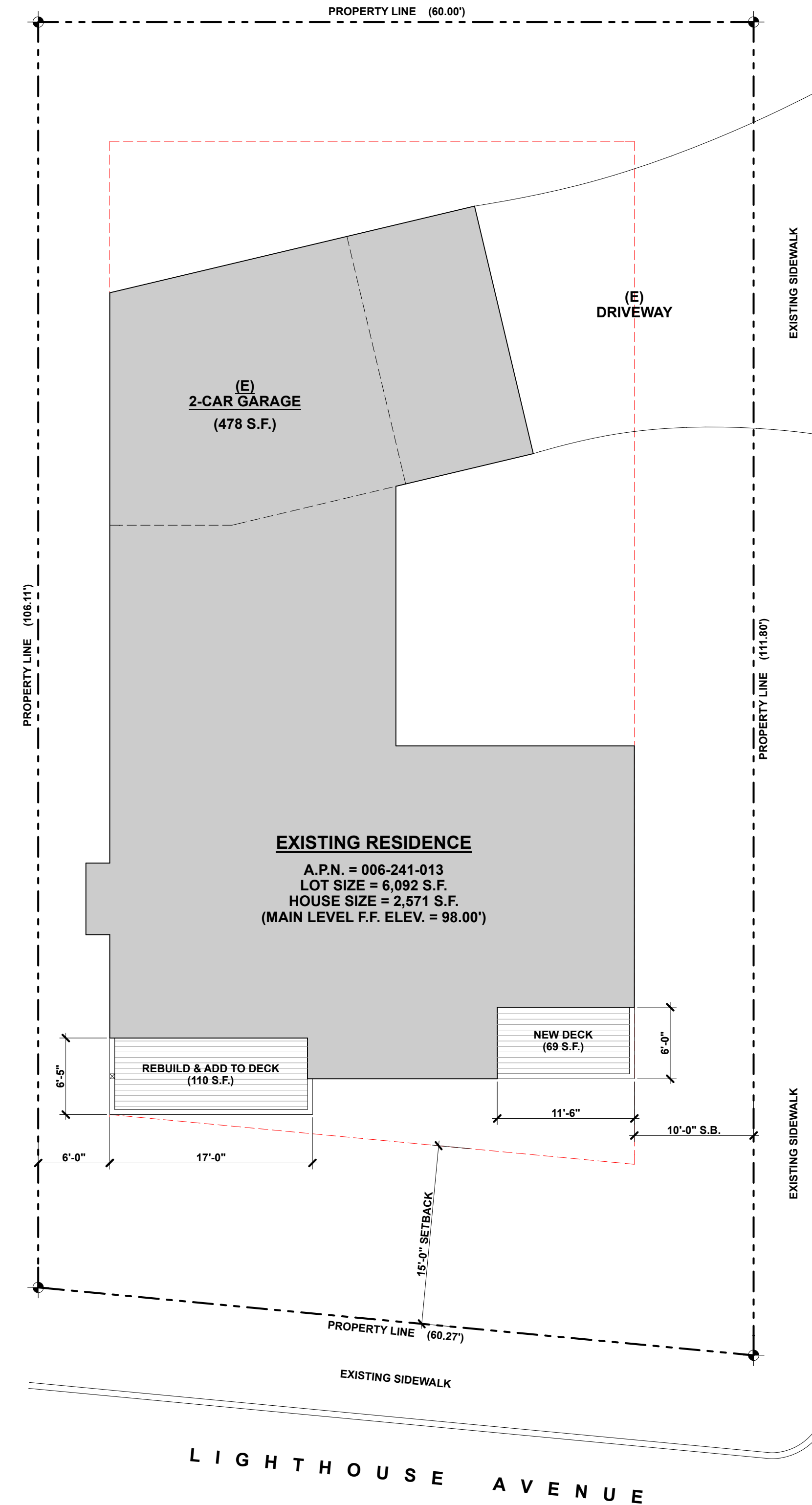
DO NOT SPLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL EXCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

NOTES:

1. LINE-WIRE WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT (STUCCO), SHALL BE INSTALLED, AS FOLLOWS:
 WIRE GAUGE, SPACING AND ATTACHMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MANUFACTURER SPECIFICATIONS.
 PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.
 NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.
2. MOISTOP FLASHING MINIMUM 8" WIDE.
3. PROVIDE SEALANT AS RECOMMENDED BY WINDOW MANUFACTURER PRIOR TO INSTALLATION OF WINDOW OR SLIDING DOOR.

Window Flashing Details

1



2

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ADDITION & INTERIOR REMODEL FOR:

BOWIE RESIDENCE

201 3RD STREET
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-241-013

DRAWINGS: SITE PLAN NOTES

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AREA OF NEW AND REBUILT DECK



AREA OF NEW DECK



Existing Exterior Elevations

ADDITION & INTERIOR
REMODEL FOR:

BOWIE RESIDENCE

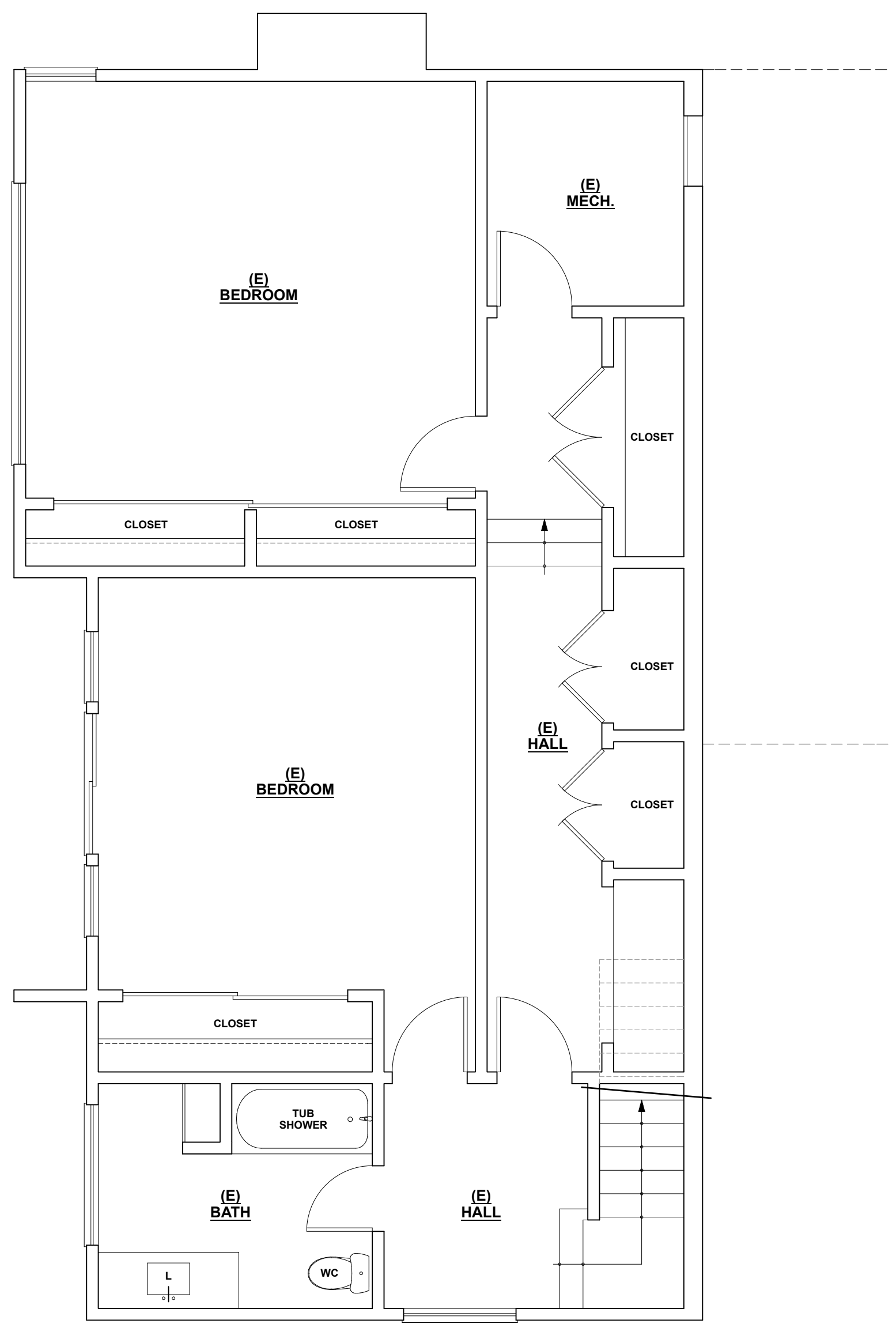
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DRAWINGS:
(E) FLOOR PLAN - MAIN LEVEL
(E) FLOOR PLAN - LOWER LEV.

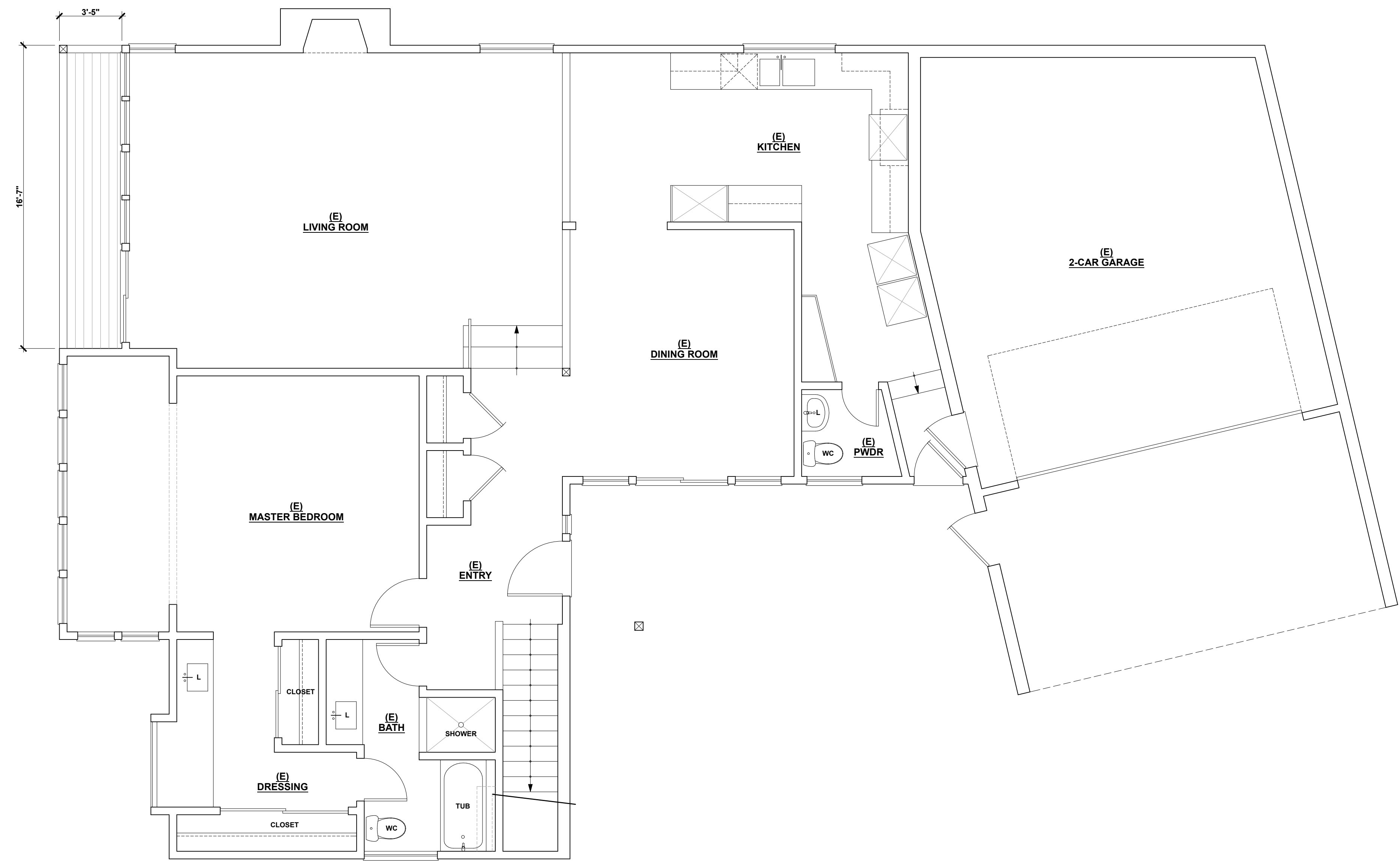
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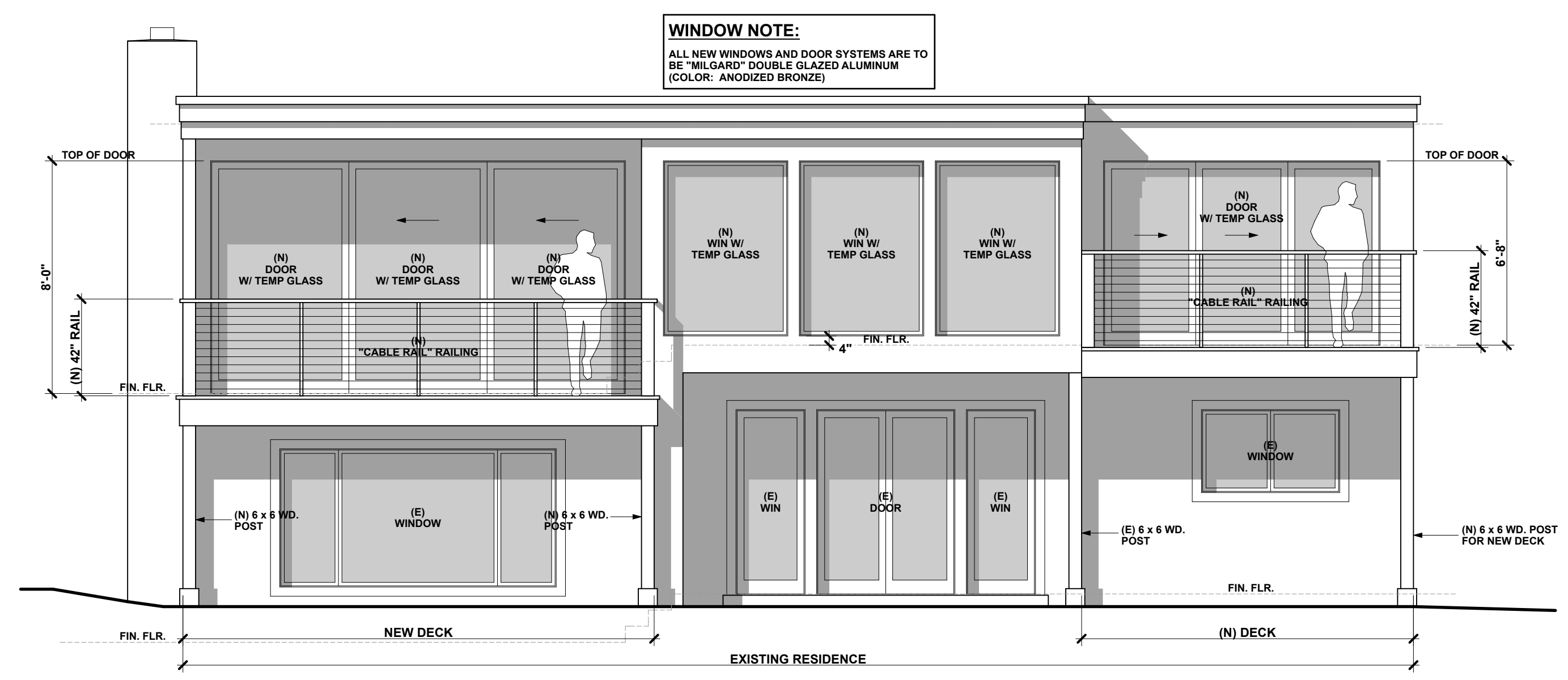
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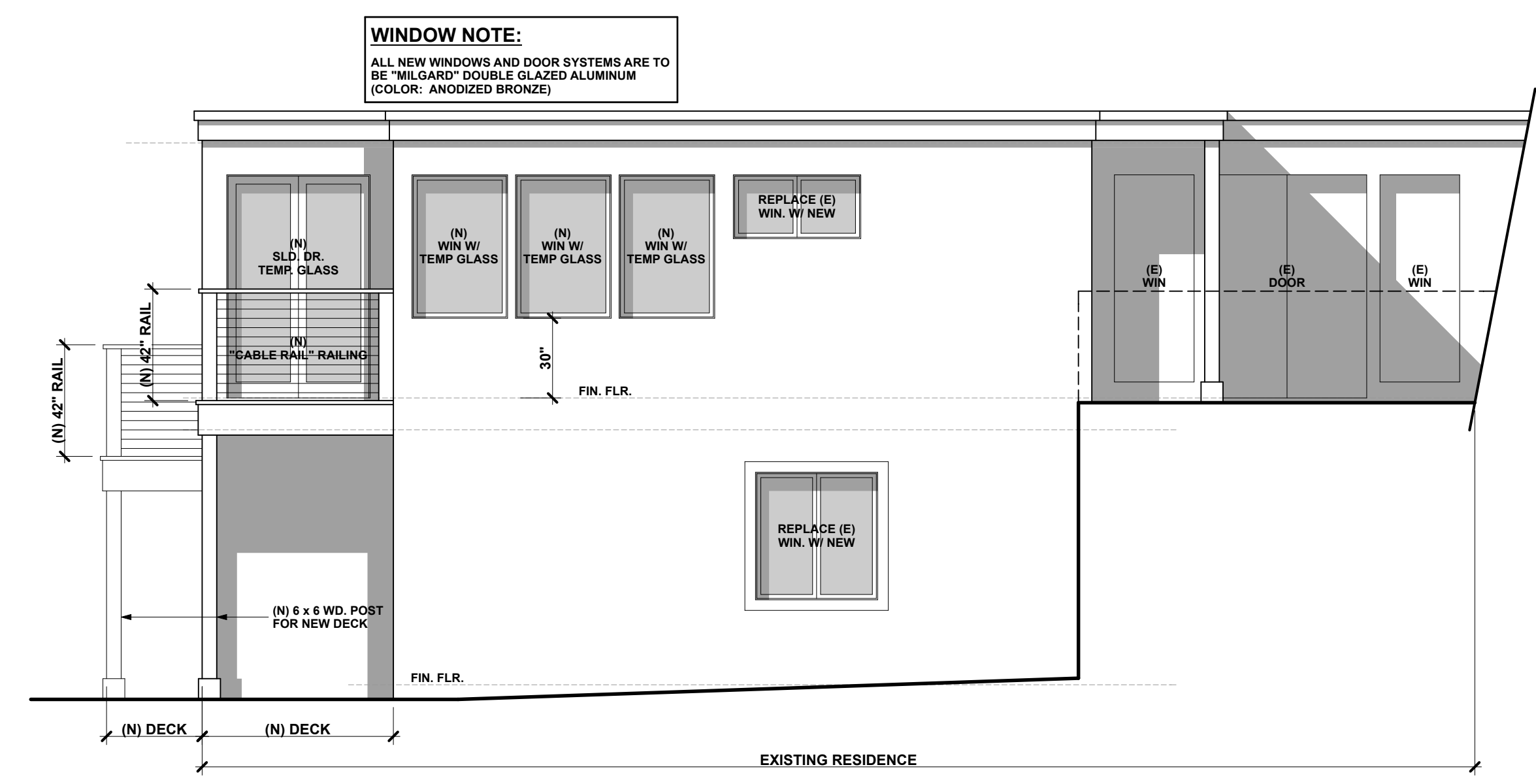
Existing Floor Plan (Lower Level)
1/4" = 1'-0"



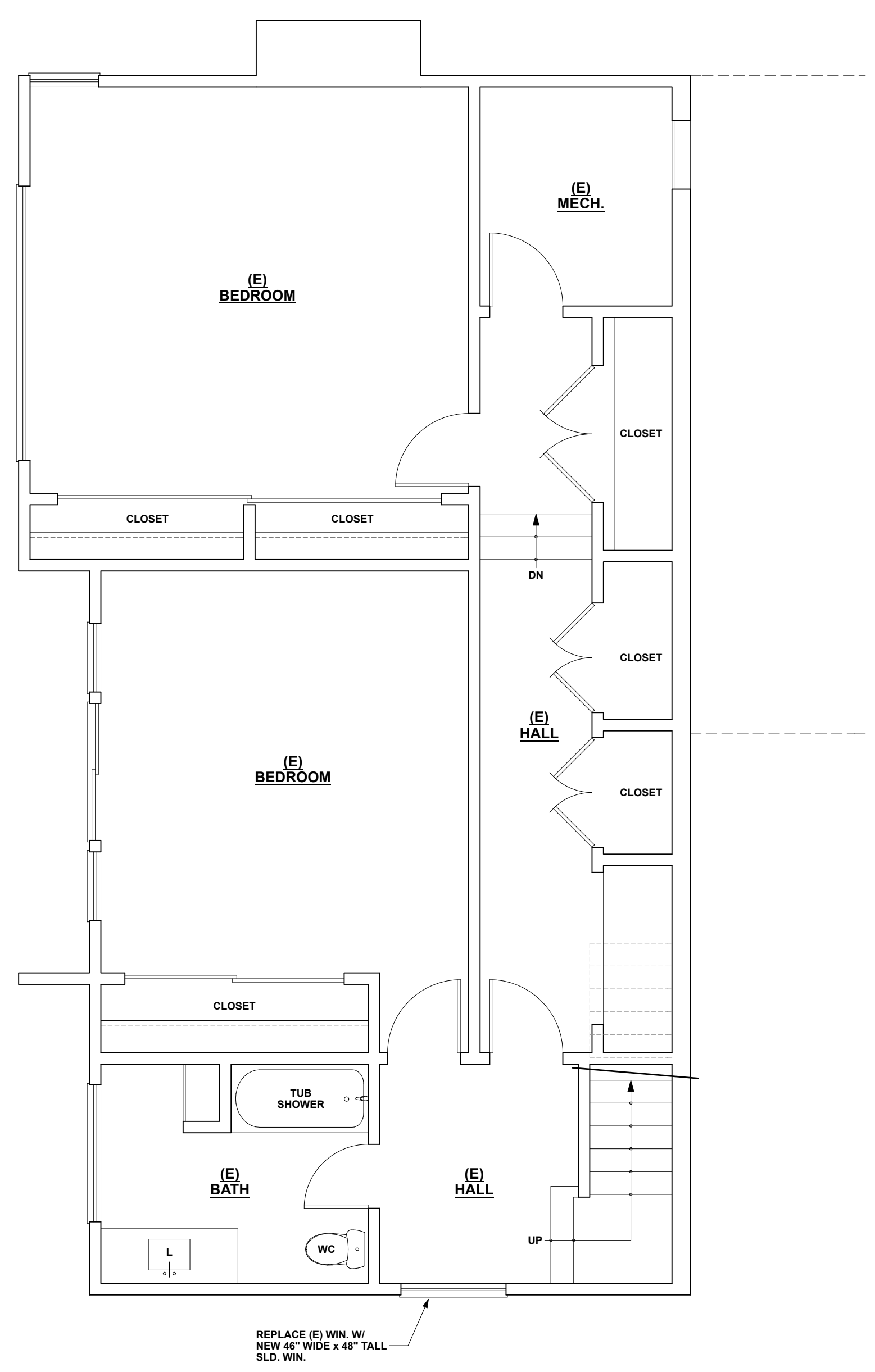
Existing Floor Plan (Main Level)
1/4" = 1'-0"



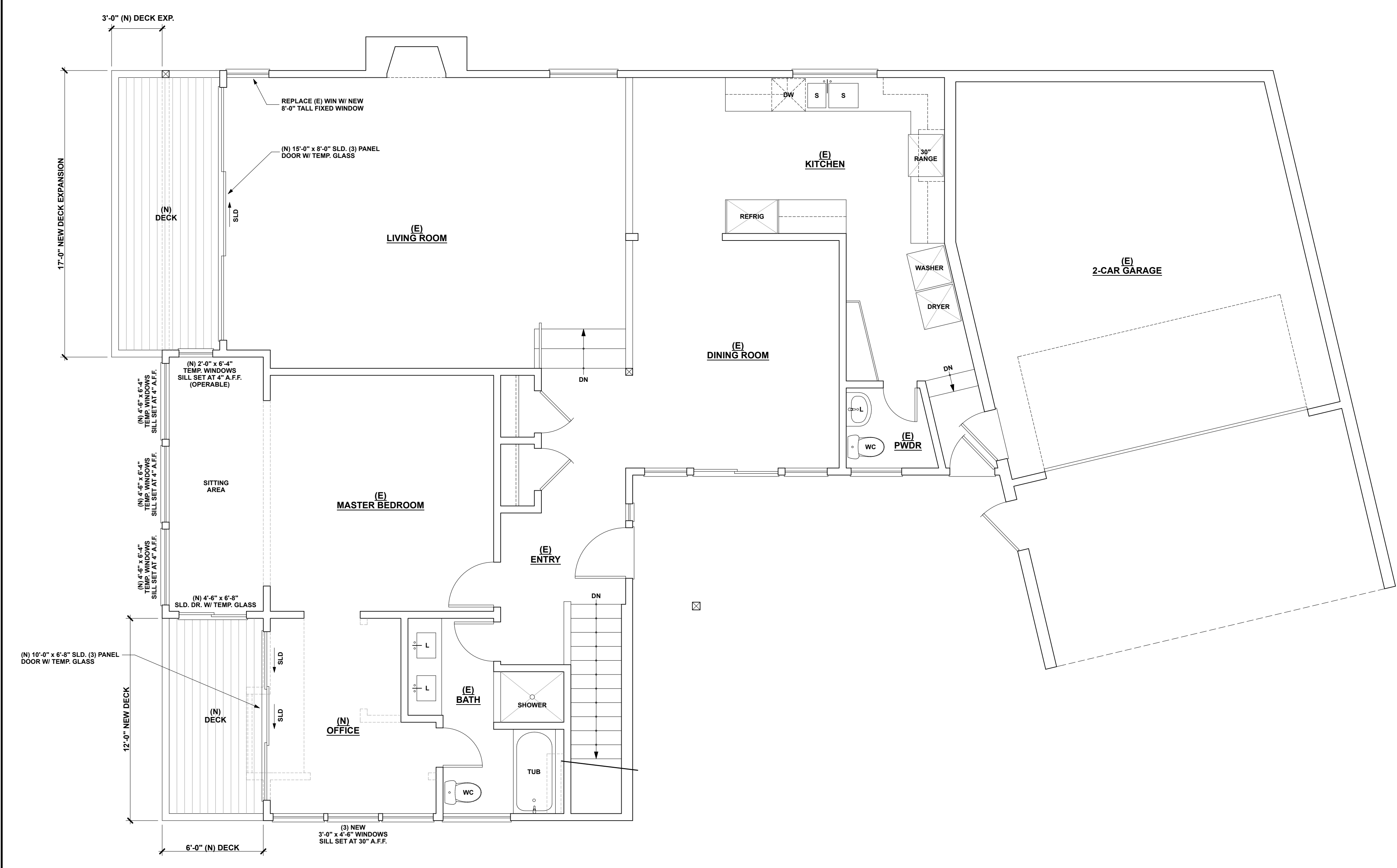
North Exterior Elevation
1/4" = 1'-0"



West Exterior Elevation
1/4" = 1'-0"



New Floor Plan (Lower Level)
1/4" = 1'-0"



New Floor Plan (Main Level)
1/4" = 1'-0"

ADDITION & INTERIOR
REMODEL FOR:
**BOWIE
RESIDENCE**

201 3RD STREET
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-241-013

DRAWINGS:
(N) FLOOR PLAN - MAIN LEVEL
(N) FLOOR PLAN - LOWER LEV.
PHASE #1

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